

ARTICLE 5

SIGN REGULATIONS

Section 5.1 Purpose

The purpose of this Article is to protect the dual interest of the public and the advertiser. The regulations herein are designed to protect public safety and welfare and to ensure the maintenance of an attractive community environment while satisfying the needs of sign users for adequate identification, communication, and advertising.

Section 5.2 Applicability and Conformance

This Article regulates the number, size, placement, and physical characteristics of signs; allows certain signs without permits; prohibits certain signs; and requires permits for certain signs.

From and after the adoption of this Ordinance, no sign may be erected or enlarged in the Town unless it conforms to the requirements of this Article.

Section 5.3 Signs on Private Property

Signs shall be allowed on private property in the Town in accord with Table 3. If the letter "A" appears for a sign type in a column, such sign is allowed without prior permit approval in the zoning district represented by that column. If the letter "P" appears for a sign type in a column, such sign is allowed only with prior permit approval in the zoning district represented by that column. Special conditions may apply in some cases. If the letter "N" appears for a sign type in a column, such a sign is not allowed in the zoning district represented by that column under any circumstances.

Although permitted under the previous paragraph, a sign designated by an "A" in Table 3 shall be allowed only if in compliance with the conditional requirements of Table 4.

Table 3

Sign Type	RS-1 RS-2 RS-3	RG	OC	GC-1	GC-2	LI	INS (3)
Permanent							
<i>Freestanding</i>							
Principal (on premise only)	(1)	(1)	(1)	(4)	P	P	P
Incidental	A	A	A	A	A	A	A
<i>Building</i>							
Canopy	N	N	N	P	P	P	N
Identification	A	A	A	A	A	A	A
Incidental	N	N	N	A	A	A	A
Marquee	N	N	N	P	P	N	N
Projecting	N	N	N	P	P	N	N
Roof	N	N	N	N	N	N	N
Wall	N	N	N	P	P	N	N
Window	N	N	N	A	A	A	N
Temporary (2)							
A-Frame (sandwich board)	N	N	N	A	P	N	N
Banner	N	N	N	P	P	P	P
Posters	A	A	A	A	A	A	A
Portable	N	N	N	N	P	A	N
Inflatable	N	N	N	N	N	N	N
Pennant	N	N	N	N	N	N	N
Identification	P	P	P	P	P	P	P
Political	A	A	A	A	A	A	A
Sign Characteristics							
Animated	N	N	N	N	N	N	N
Changeable Copy	N	N	N	A	A	A	A
Illumination Indirect	A	A	A	A	A	A	A
Illumination Internal	A	A	A	A	A	A	A
Illumination, Exposed bulbs or neon	N	N	N	N	N	N	N

- 1 - Subdivision and/or residential project identification signs only.
- 2 - See Section 5.5
- 3 - This column does not represent a zoning district. It applies to institutional and other non-residential uses permitted in residential zoning districts e.g. churches, school, parks, governmental buildings, etc. and includes historical markers.
- 4- Where the proposed front yard setback is not less than 30 feet, freestanding signs are allowed in accord with the requirements of Table 4.

A - Allowed without a permit.

P - Sign permit required.

N - Not allowed

Table 4
Number, Dimension, and Location of Permitted Signs,
By Zoning District

	RS-1 RS-2 RS-3	RM	RG	OC	GC-1	GC-2	LI	INS (B)
Freestanding Signs - Number Permitted Per Developed Lot (C)								
Principal	(A)	(A)	(A)	1	(E)	(E)	1	1
Incidental	1	1	1	1	2	2	2	2
Maximum Sign Area (s.f.) (D)	24	24	24	24	(F)	(F)	24	12
Minimum Setback from Property Line	5'	5'	5'	5'	5'	5'	5'	5'
Maximum Height (G)	12'	12'	12'	12'	24'	24'	12'	12'
Building Signs								
Number Permitted	1	1	1	1	NA	NA	NA	1
Maximum Sign Area (s. f.)	2	2	2	2	24	NA	NA	12
Maximum Wall Area (%)	NA	NA	NA	NA	10	25	10	NA
Temporary Signs	See Section 5.5							

Table Notes:

NA= Not Applicable

s.f.= square feet

(A) - One identification sign is permitted at the entrance of a subdivision or residential project.

(B) - This column does not represent a zoning district. It applies to institutional and other non-residential uses permitted in Residential Zoning districts, i.e. churches, schools, parks, governmental buildings, etc. in accordance with the requirements of (F) below.

(C) - Signs are not allowed on undeveloped or vacant lots. However, lots fronting on two or more streets are allowed one additional sign for each street frontage, but signage cannot be accumulated and used on one street in excess of that allowed for lots with only one street frontage.

(D) - Incidental signs greater than two square feet in area shall be counted against the maximum sign area of a principal freestanding sign.

(E) - One per lot, plus one for lots with more than 200 feet of street frontage on the same street, in accord with the requirements of (F) below.

(F) - 36 sq. ft. per lot, plus one square foot sign area for per one linear foot of street frontage for lots with over 200 linear feet street frontage on same street, not to exceed 100 feet. The additional sign area may be combined with the sign area allotted to the first 200 feet of street frontage, or erected as a separate freestanding sign, with the total sign area divided among the signs at the discretion of the owner/applicant.

(G)- Free standing signs only.

AMENDMENT TO ZONING ORDINANCE
SECTION 5.3 TABLE 4 – Number, Dimension, and Location of Permitted
Signs, By Zoning District

(Amended September 2, 2014)

NOW THEREFORE, BE IT ORDAINED by the Governing body of the Town of Elgin, in Council duly assembled this 7th day of October, 2014 that Zoning Ordinance 5.3 Table 4:

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Temporary Signs	See Section 5.5							

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(F) - 36 sq. ft. per lot, plus one square foot sign area for per one linear foot of street frontage for lots with over 200 linear feet street frontage on same street, not to exceed 100 feet. The additional sign area may be combined with the sign area allotted to the first 200 feet of street frontage, or erected as a separate freestanding sign, with the total sign area divided among the signs at the discretion of the owner/applicant.

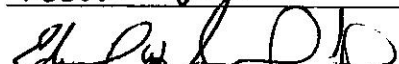
(G)- Free standing signs only.

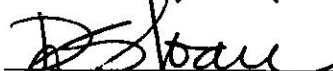
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Town Clerk


Brad Hanley, Mayor


(Councilwoman M. Emmons)


(Councilman E. Smith)


(Councilwoman D. Sloan)


(Councilwoman C. Silvers)

Date of First Reading: September 2, 2014

Date of Second Reading: October 7, 2014

Amended 9-2-14

**Table 4
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By Zoning District**

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Building Signs								
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Maximum Sign Area (s. f.)	2	2	2	2	24	NA	NA	12
Maximum Wall Area (%)	NA	NA	NA	NA	10	25	10	NA
Temporary Signs	See Section 5.5							

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- (A) - One identification sign is permitted at the entrance of a subdivision or residential project.
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- (G)- Free standing signs only.

Section 5.4 Signs in the Public Right-of-Way

No sign shall be allowed in the public right-of-way, except for the following:

1. Public signs erected by or on behalf of a governmental body to post legal notices, identify public property, convey public information, convey holiday greetings, and direct or regulate pedestrian or vehicular traffic;
2. Informational signs of a public agency or utility regarding its facilities;
3. Church signs, in accord with state law;
4. Historical signs and markers;
5. Emergency signs; and
6. Directional signs of a temporary nature not to exceed three (3) square feet in area and 24 hours in duration for such events as yard sales, auctions, public gatherings, etc.

Section 5.5 Temporary Signs

Sign Type	Display Period	Display Intervals	Dimensions	Conditions
A-Frame	daylight hours only	off-hours	12 sq. ft.	A
Banner	30 days	6 months	None	B
Posters	7 days	None	6 sq. ft.	C
Identification	90 days, or project completion	None	24 sq. ft.	D
Portable	30 days	11 months	24 sq. ft.	E
Political	60 days prior to election	Not Applicable	32 sq. ft.	F

Notes to Table

- A. A-Frame signs, where located on sidewalks, shall be located in such a manner as not to obstruct pedestrian movement.

- B. Banners shall be properly secured and maintained at all times, and shall not interfere with pedestrian or vehicular movement.
- C. Posters shall not be allowed on any telephone or power poles or any public right-of-way, and shall be placed no closer than five (5) feet from a street or curb.
- D. Temporary subdivision and work under construction identification signs shall adhere to the Development Standards of Section 5.7.
- E. Portable signs shall be limited to one per establishment, shall have no colored or flashing lights, shall not be wired so as to obstruct or hinder pedestrian or vehicular traffic or pose any potential for such hindrance (i.e. exposed drop cord), shall not exceed six (6) feet in height, shall be anchored in accord with the Building Code, and shall not be converted to a permanent sign.
- F. Political signs shall be removed within 7 days of an election.

Section 5.6 Prohibited Signs

All signs not expressly permitted by this ordinance are prohibited. Such signs include, but are not limited to:

1. Signs painted on or attached to trees, fence posts, telephone or other utility poles, stationary vehicles, or natural features.
2. Signs displaying intermittent lights resembling the flashing lights customarily used in traffic signals or in police, fire, ambulance, rescue vehicles or other warning signals, and signs using the words "stop", "danger", or any other word, phrase, symbol, or character in a manner that might mislead or confuse motorist.
3. Signs which have been abandoned and no longer correctly direct or exhort any person, advertises a bona fide business, lessor, owner, product, or activity conducted or product available.
4. Signs which have fallen into disrepair (dilapidated), are not properly maintained, are insecure or otherwise structurally

unsound, have defective parts in the support, guys and/or anchors, or which are unable to meet minimum safety requirements of the Standard Building Code.

Section 5.7 Development Standards

Section 5.7-1 Visual Area Clearance

No sign shall be located within a vision clearance area as defined in Section 7.5.

Section 5.7-2 Vehicle Area Clearance

When a sign extends over an area where vehicles travel or park, the bottom of the sign structure shall be at least 14 feet above the ground. Vehicle areas include driveways, alleys, parking lots, and loading and maneuvering areas. (See Area Clearance Illustration, 4).

Section 5.7-3 Pedestrian Area Clearance

When a sign extends over a sidewalk, walkway, or other space accessible to pedestrians, the bottom of the sign structure shall be at least 8 feet above the ground. (See Area Clearance Illustration, 4).

Section 5.7-4 Sign Materials; Code Compliance

Permanent and temporary identification signs must be constructed in accord with all applicable provisions of the Building Code and National Electrical Code, and consist of durable all-weather materials.

Images, logos, graphics, etc. painted on permanent signs or buildings must be performed in a professional and workmanlike manner. Permits for painted signs will only be issued to companies who are engaged as sign painters.

Section 5.7-5 Sign Illumination

Illuminated signs shall not directly shine on abutting properties. No illumination simulating traffic control devices or emergency vehicles shall be used, nor shall lights which are intermittently switched on and off,

changed in intensity or color, or otherwise displayed to create the illusion of flashing or movement be permitted.

Section 5.8 Sign Measurement

Section 5.8-1 Sign Face Area

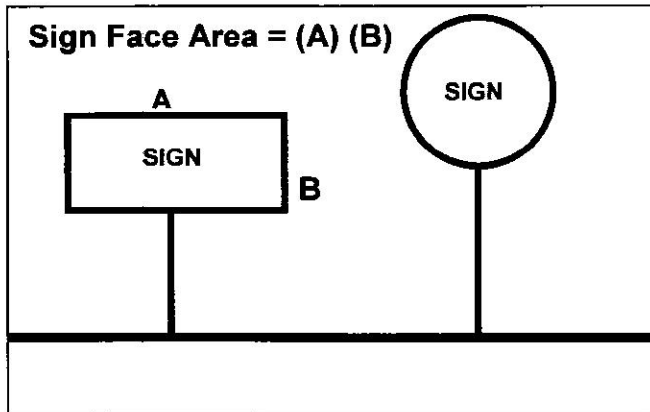
1. The area of a sign enclosed in frames or cabinets is determined by measuring the outer dimensions of the frame or cabinet surrounding the sign face (Illustration 1). Sign area does not include foundations or supports. Only one side of a double-faced or V-shaped, freestanding sign is counted.
2. For signs on a base material and attached without a frame, such as a wood board or Plexiglas panel, the dimensions of the base material are to be used in the measurement unless it is clear that part of the base contains no sign related display or decoration.
3. For signs constructed of individual pieces attached to a building wall, sign area is determined by a perimeter drawn around all the pieces (Illustration 2).
4. For sign structures containing multiple modules oriented in the same direction, the modules together are counted as one sign face (Illustration 3).
5. The maximum surface area visible at one time of a round or three-dimensional sign is counted to determine sign area.
6. For signs incorporated into awnings, the entire panel containing the sign is counted as the sign face unless it is clear that part of the panel contains no sign related display or decoration.

Section 5.8-2 Clearances

Clearances are measured from the grade directly below the sign to the bottom of the sign structure enclosing the sign face (Illustration 4).

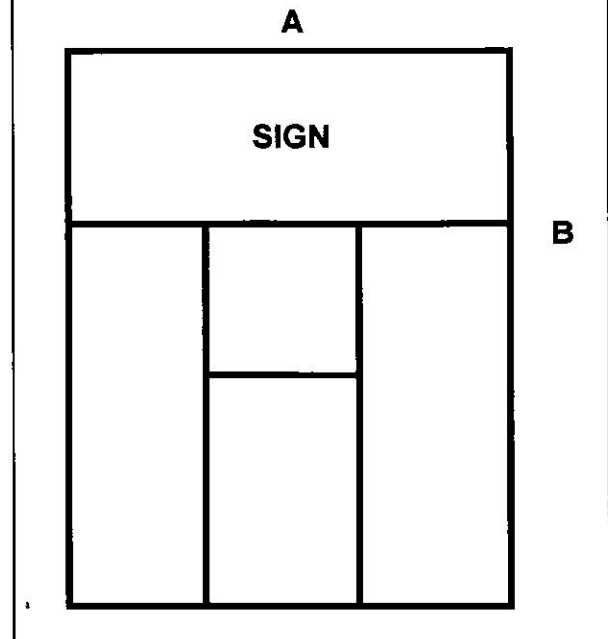
Sign Measurement Illustrations

1.

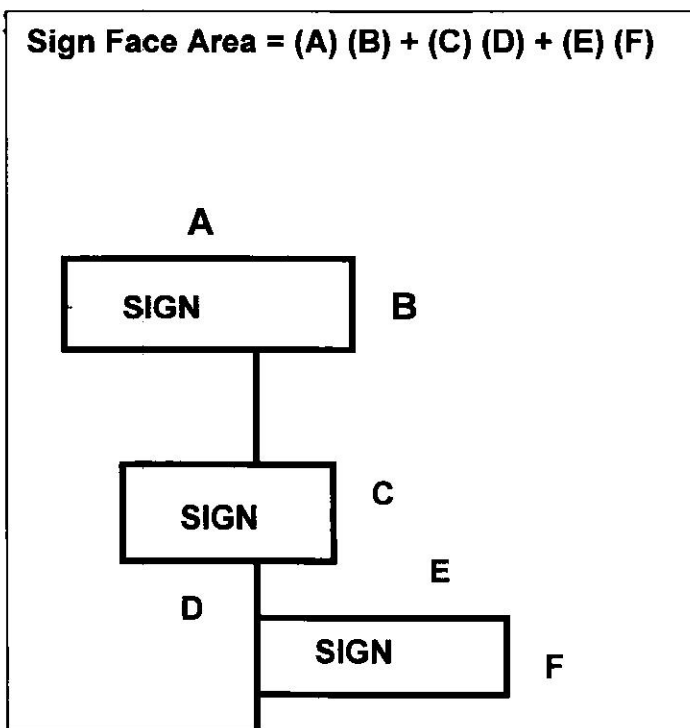


2.

Sign Face Area = (A) (B)

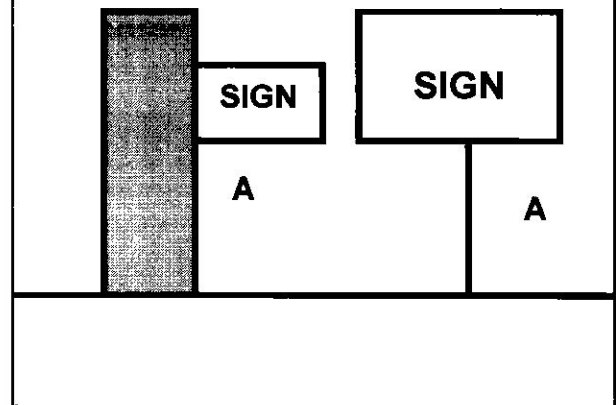


Sign Face Area = (A) (B) + (C) (D) + (E) (F)



4.

A = Area Clearance



Section 5.9 Removal of Signs

1. The lawful use of any permanently mounted sign existing at the time of the enactment of this Ordinance may be continued although such use does not conform with the provisions of this Ordinance, except those declared abandoned or dilapidated, which shall be removed or remedial action taken upon notification by the Zoning Administrator.
2. Non-conforming permanent signs shall be removed or brought into conformity whenever the following occurs:
 - a. Property changes ownership and the name of the business is to be changed, or
 - b. The occupancy classification of the building is changed.
3. Any existing sign which is subsequently abandoned shall be removed, and any existing sign exceeding the allowable face area by 25 percent, and which is subsequently destroyed or damaged to the extent of 60 percent or more of its replacement cost, shall be removed or brought into conformity with these regulations.
4. Any nonconforming temporary sign shall be removed or brought into conformity no later than sixty (60) days following the effective date of this Ordinance.
5. An order under this Section shall be issued in writing to the owner or responsible party of any such sign, or of the building or premises on which such sign is located to comply within thirty (30) days time. Upon failure to comply with such notice, the Zoning Administrator may cause the sign to be removed and any costs of removal incurred in the process may be collected in a manner prescribed by law.